



YOUR FIDELIS HOME INSPECTION REPORT

PREPARED BY:

Isac Enriquez



PROPERTY ADDRESS:

PREPARED FOR:

INSPECTION DATE:



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LICENSE #450.011216
EXPIRES: 11-30-16



This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

OPTIONAL \ Exterior

Condition: • Other

Exterior vent cap(s) appeared to be missing caulking and not securely attached to the wall

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate

ROOF DRAINAGE \ Gutters

Condition: • [Loose or damaged](#)

Gutter appeared to be damaged and at an improper slope

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: South Exterior

Task: Repair or replace

Time: Immediate

WALLS \ Flashings and caulking

Condition: • [Flashings incomplete or ineffective](#)

Flat roof vent appeared to have improper flashing. Flashing should overlap flat roll roofing.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North

Task: Correct

Time: Immediate

WALLS \ Brick, stone and concrete

Condition: • [Cracked](#)

The southeast corner of the structure appeared to have heaved up causing cracks. There also appeared to be cracks under the window sill on the east wall.

Implication(s): Chance of water entering building | Weakened structure | Chance of movement

Location: Various Exterior Wall

Task: Monitor

Time: Ongoing

Condition: • [Too close to grade](#)

South exterior wall appeared to be too close to grade

Implication(s): Chance of water entering building | Weakened structure | Rot

Location: South Exterior Wall

Task: Repair

Time: Immediate

SUMMARY

ROOFING

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EXTERIOR GLASS \ General

Condition: • [Caulking missing, loose or deteriorated](#)

There appeared to be missing caulking at various locations on the exterior

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior Wall(s)

Task: Improve

Time: Immediate

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

Condition: • Rear steps did not appear to have proper footings

Location: South Exterior

Task: Provide

Time: Immediate

Condition: • [Paint or stain needed](#)

Rear stairs appeared to be in need of paint or stain

Implication(s): Material deterioration

Location: South Exterior

Task: Improve

Time: Less than 1 year

Condition: • Trip hazard

Rear steps appeared to be missing a riser, posing a potential trip hazard

Implication(s): Trip or fall hazard

Location: North Exterior Steps

Task: Repair or replace

Time: Immediate

Condition: • [Rot](#)

Rear support post for stairs & porch appeared to be rotted at base

Implication(s): Weakened structure | Material deterioration

Location: South Exterior

Time: Immediate

LANDSCAPING \ Driveway

Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

Location: South Exterior

Task: Repair or replace

Time: Immediate

LANDSCAPING \ Walkway

Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

Location: South Exterior

Task: Repair or replace

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Time: Immediate

GARAGE \ Walls and ceilings

Condition: • Rot

There appeared to be rot and deterioration at various locations at exterior garage walls

Location: Exterior

Task: Repair or replace

Time: Immediate

GARAGE \ Vehicle door operators

Condition: • [Fails to auto reverse](#)

Garage vehicle door fails to auto reverse and appears to be missing optical eyes

Implication(s): Physical injury

Location: Exterior

Task: Improve

Time: Immediate

Structure

FOUNDATIONS \ Foundation

Condition: • [Spalling, crumbling or broken material](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Various Exterior

Task: Repair or replace

Time: Immediate

Condition: • [Parging damaged or missing](#)

Parging damaged at various locations

Implication(s): Chance of damage to structure | Shortened life expectancy of material

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate

Electrical

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

Condition: • Service entrance anchors appeared loose and disconnected from wall

Location: East Exterior Wall

Task: Repair

Time: Immediate

Condition: • [Branches, vines interfering with wires](#)

Implication(s): Damage to wire | Electric shock | Interruption of electrical service

Location: South Exterior

Task: Improve

Time: Immediate

DISTRIBUTION SYSTEM \ Lights

Condition: • Exterior light appeared to be missing caulking

Location: South Exterior

Task: Provide

Time: Immediate

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Outlet(s) appeared to have a bad ground

Location: Various

Task: Repair or replace

Time: Immediate

Condition: • [Inoperative](#)

Exterior outlets appeared to be inoperative

Implication(s): Equipment inoperative

Location: South Exterior

Task: Repair or replace

Time: Immediate

Condition: • [GFI test faulty](#)

GFCI outlets in kitchen did not appear to trip when tested

Implication(s): Electric shock

Location: First Floor Kitchen

Task: Repair or replace

Time: Immediate

DISTRIBUTION SYSTEM \ Smoke detectors

Condition: • [Inoperative](#)

Second floor smoke alarm appeared to be inoperative

Implication(s): Fire hazard

Location: Second Floor

Task: Repair or replace

Time: Immediate

Heating

GAS FURNACE \ Cabinet

Condition: • [Rust](#)

There appeared to be rust in the interior furnace cabinet

Implication(s): Material deterioration | Reduced system life expectancy

Location: Basement Utility Room p

Task: Monitor

Time: Ongoing

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CHIMNEY AND VENT \ Masonry chimney**Condition:** • [Spalling](#)

Chimney chase appeared to be spalling and showed signs of previous patching repairs

Implication(s): Material deterioration**Location:** Exterior**Task:** Repair or replace**Time:** Immediate**CHIMNEY AND VENT \ Metal chimney or vent****Condition:** • Appliance vents appeared to be parallel instead of stacked, larger appliance vent above smaller vent.**Location:** Basement Utility Room**Task:** Repair or replace**Time:** Immediate

Insulation and Ventilation

OPTIONAL \ Insulation**Condition:** • Cold/hot air intrusion may lead to energy loss and affect comfort level in surrounding area

There appeared to be air intrusion at various locations

Location: Various**Task:** Correct**Time:** Discretionary**WALLS \ Insulation****Condition:** • [Sagging or voids](#)

There appeared to be missing insulation at various exterior walls

Implication(s): Increased heating and cooling costs | Reduced comfort**Location:** Various**Task:** Provide**Time:** Discretionary

Plumbing

WASTE PLUMBING \ Traps - performance**Condition:** • Catch basin appeared to have roots growing through its walls. Recommend rodding at intervals when needed**Location:** South Exterior**Task:** Service**Time:** Regular maintenance**FIXTURES AND FAUCETS \ Toilet****Condition:** • [Loose](#)

Toilet bowl appeared to be loose

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building

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Location: Second Floor Bathroom

Task: Repair

Time: Immediate

Interior

FLOORS \ Ceramic tile, stone, marble, etc

Condition: • [Tiles cracked](#)

Tiles appeared to be cracked

Implication(s): Cosmetic defects | Trip or fall hazard

Location: First Floor Kitchen

Task: Repair or replace

Time: Discretionary

CEILINGS \ Plaster or drywall

Condition: • [Crumbly or powdery](#)

Bedroom ceiling appeared to be water damaged and peeling

Implication(s): Cosmetic defects | Chance of movement

Location: West Second Floor Bedroom

Task: Repair or replace

Time: Immediate

CEILINGS \ Fan

Condition: • Excessive vibration

Ceiling fan appeared to wobble when in use

Location: First Floor Sunroom

Task: Improve

Time: Immediate

CARPENTRY \ Countertops

Condition: • [Loose or missing pieces](#)

Countertop trim appeared to be loose and had a visible gap. This may increase chance of moisture intrusion behind trim.

Implication(s): Cosmetic defects | Hygiene issue

Location: First Floor Kitchen

Task: Repair or replace

Time: Immediate

APPLIANCES \ Dishwasher

Condition: • Loose

Dishwasher did not appear to be secured to cabinets

Implication(s): Reduced operability

Location: First Floor Kitchen

Task: Provide

Time: Immediate

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Condition: • Backflow prevention missing

Dishwasher did not appear to have an air gap or high loop for back flow prevention.

Implication(s): Contaminated drinking water

Location: First Floor Kitchen

Task: Provide

Time: Immediate

APPLIANCES \ Dryer

Condition: • Plastic dryer vent

Recommend replacing plastic dryer vent for metal vent

Location: South First Floor Laundry Area

Task: Correct

Time: Immediate

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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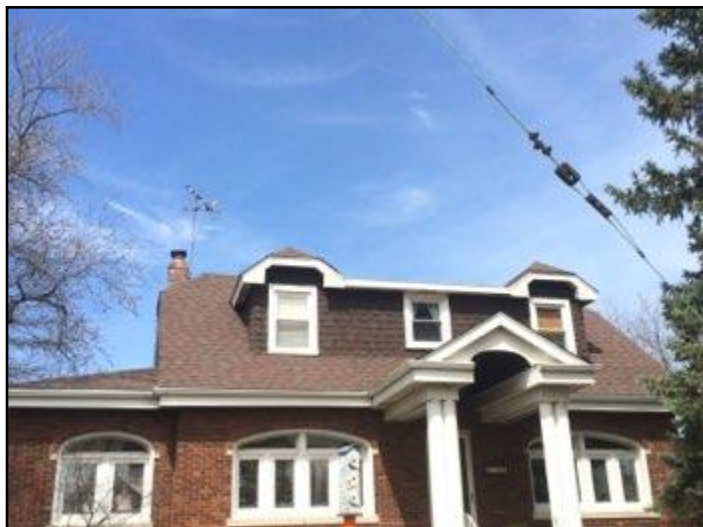
Description

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles



3. Asphalt shingles

Flat roofing material:

- [Roll roofing](#)

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4. Roll roofing



5. Roll roofing

Limitations

Inspection performed: • By walking on roof • From the ground

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Description

General: • Exterior views of the property



6. Exterior views of the property



7. Exterior views of the property



8. Exterior views of the property



9. Exterior views of the property

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Below grade](#) • [Above grade](#)

Lot slope: • [Away from building](#)

Wall surfaces: • Unglazed brick

Driveway: • Concrete

Walkway: • Concrete

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Exterior steps: • Concrete

Patio: • Concrete

Garage: • Detached

Recommendations

OPTIONAL \ Exterior

1. Condition: • Other

Exterior vent cap(s) appeared to be missing caulking and not securely attached to the wall

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate



10. East wall vent cap



11. West wall vent cap

ROOF DRAINAGE \ Gutters

2. Condition: • [Loose or damaged](#)

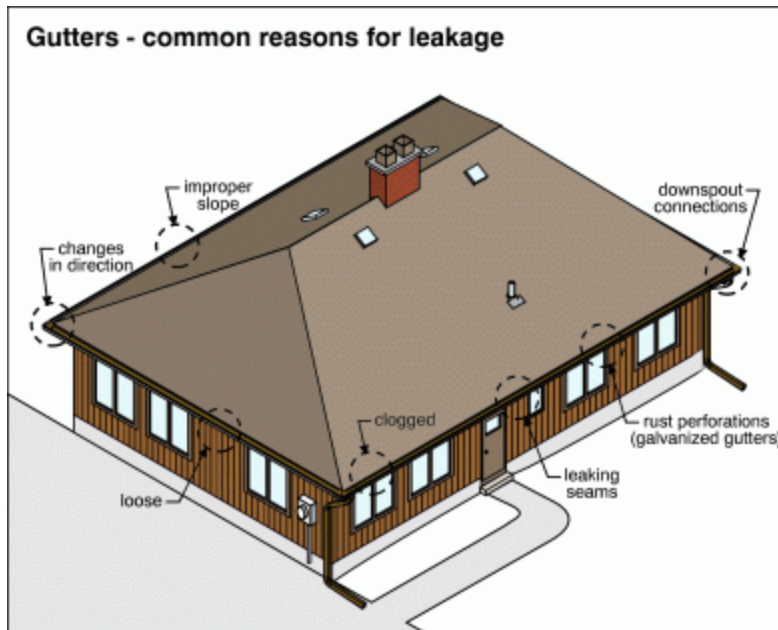
Gutter appeared to be damaged and at an improper slope

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: South Exterior

Task: Repair or replace

Time: Immediate



[Click on image to enlarge.](#)



12. Damaged gutter w/ improper slope

WALLS \ Flashings and caulking

3. Condition: • [Flashings incomplete or ineffective](#)

Flat roof vent appeared to have improper flashing. Flashing should overlap flat roll roofing.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North

Task: Correct

Time: Immediate



13. Improper flashing

WALLS \ Brick, stone and concrete

4. Condition: • [Cracked](#)

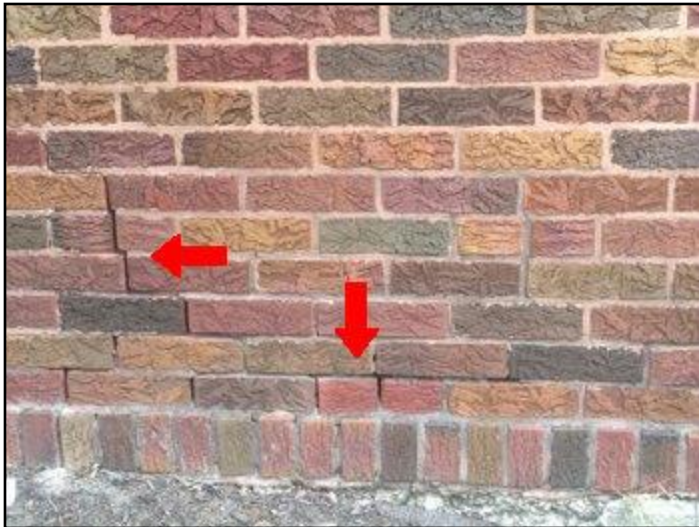
The southeast corner of the structure appeared to have heaved up causing cracks. There also appeared to be cracks under the window sill on the east wall.

Implication(s): Chance of water entering building | Weakened structure | Chance of movement

Location: Various Exterior Wall

Task: Monitor

Time: Ongoing



14. Cracked south wall



15. Cracked east wall under window sill

5. Condition: • [Too close to grade](#)

South exterior wall appeared to be too close to grade

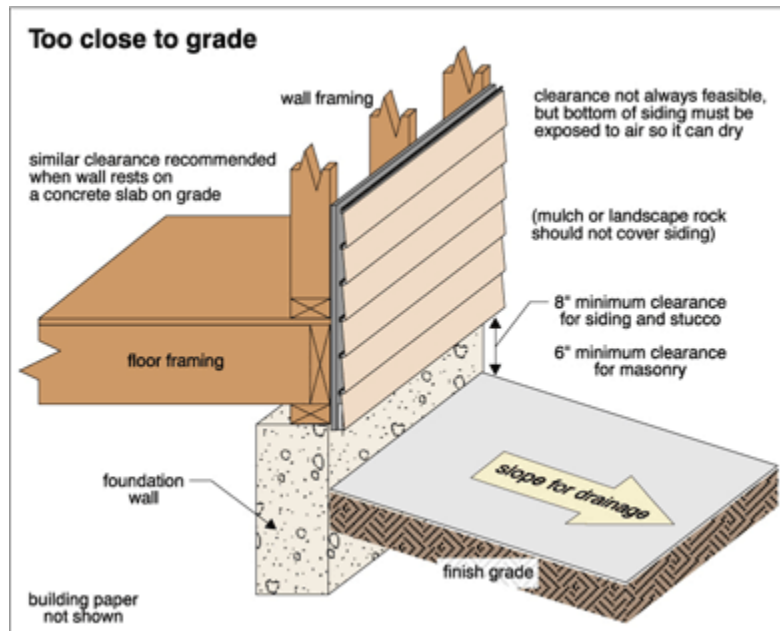
Implication(s): Chance of water entering building | Weakened structure | Rot

Location: South Exterior Wall

Task: Repair

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									

Time: Immediate



[Click on image to enlarge.](#)



16. Too close to grade

EXTERIOR GLASS \ General

6. Condition: • [Caulking missing, loose or deteriorated](#)

There appeared to be missing caulking at various locations on the exterior

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior Wall(s)

Task: Improve

Time: Immediate



17. Caulking missing at window sill(s)



18. Caulking deteriorated at various windows



19. Caulking missing at window sill(s)



20. Caulking deteriorated at A/C disconnect



21. *Caulking deteriorated*

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

7. Condition: • Rear steps did not appear to have proper footings

Location: South Exterior

Task: Provide

Time: Immediate

8. Condition: • [Paint or stain needed](#)

Rear stairs appeared to be in need of paint or stain

Implication(s): Material deterioration

Location: South Exterior

Task: Improve

Time: Less than 1 year

9. Condition: • Trip hazard

Rear steps appeared to be missing a riser, posing a potential trip hazard

Implication(s): Trip or fall hazard

Location: North Exterior Steps

Task: Repair or replace

Time: Immediate



22. Trip hazard at rear steps

10. Condition: • [Rot](#)

Rear support post for stairs & porch appeared to be rotted at base

Implication(s): Weakened structure | Material deterioration

Location: South Exterior

Time: Immediate



23. Rot at support post

LANDSCAPING \ Driveway

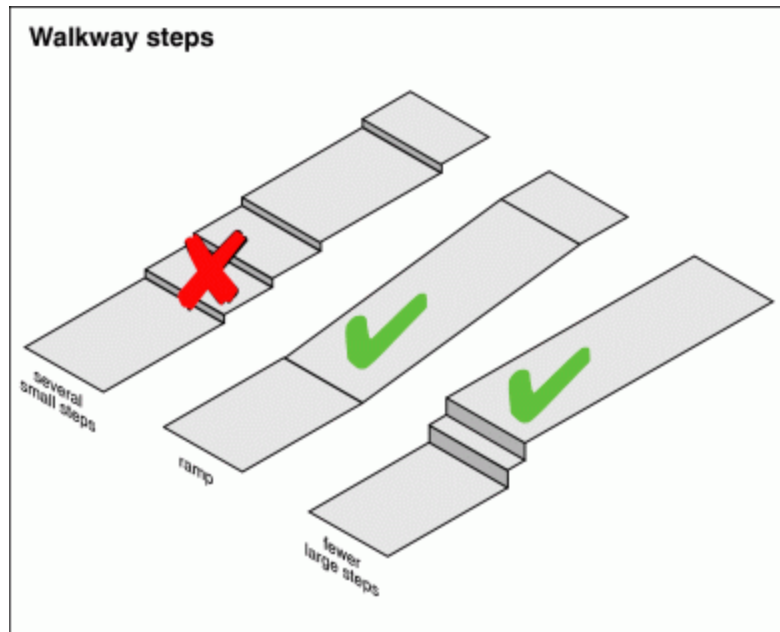
11. Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

Location: South Exterior

Task: Repair or replace

Time: Immediate



[Click on image to enlarge.](#)



24. Uneven (trip hazard) at driveway

LANDSCAPING \ Walkway

12. Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

Location: South Exterior

Task: Repair or replace

Time: Immediate



25. Trip hazard at walkway

GARAGE \ Floor

13. Condition: • [Cracked](#)

Implication(s): Uneven floors

GARAGE \ Walls and ceilings

14. Condition: • Rot

There appeared to be rot and deterioration at various locations at exterior garage walls

Location: Exterior

Task: Repair or replace

Time: Immediate



26. Rot at vehicle entry doorway



27. Rot at exterior wall



28. Rot at vehicle entry doorway

GARAGE \ Vehicle door operators

15. Condition: • [Fails to auto reverse](#)

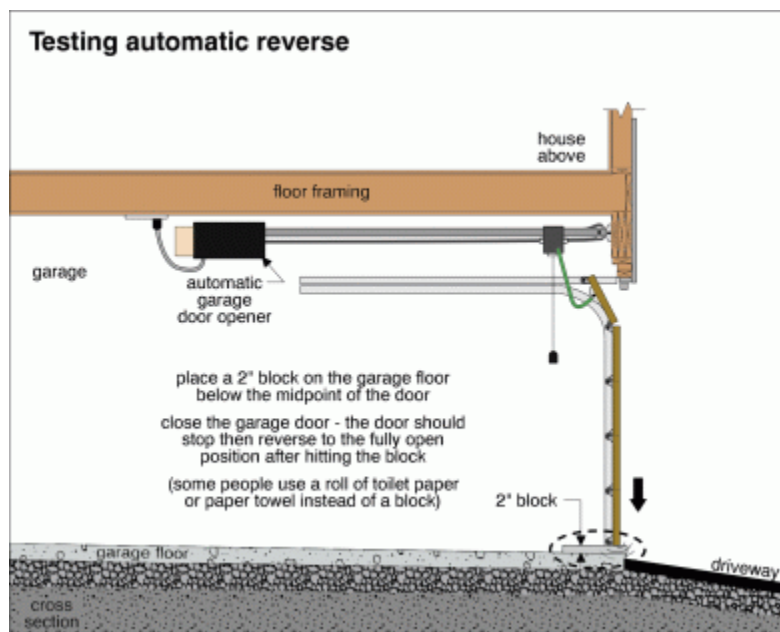
Garage vehicle door fails to auto reverse and appears to be missing optical eyes

Implication(s): Physical injury

Location: Exterior

Task: Improve

Time: Immediate



[Click on image to enlarge.](#)

SUMMARY

ROOFING

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Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • Not visible

Exterior wall construction: • [Wood frame, brick veneer](#)

Roof and ceiling framing: • [Rafters/roof joists](#)

Recommendations

FOUNDATIONS \ Foundation

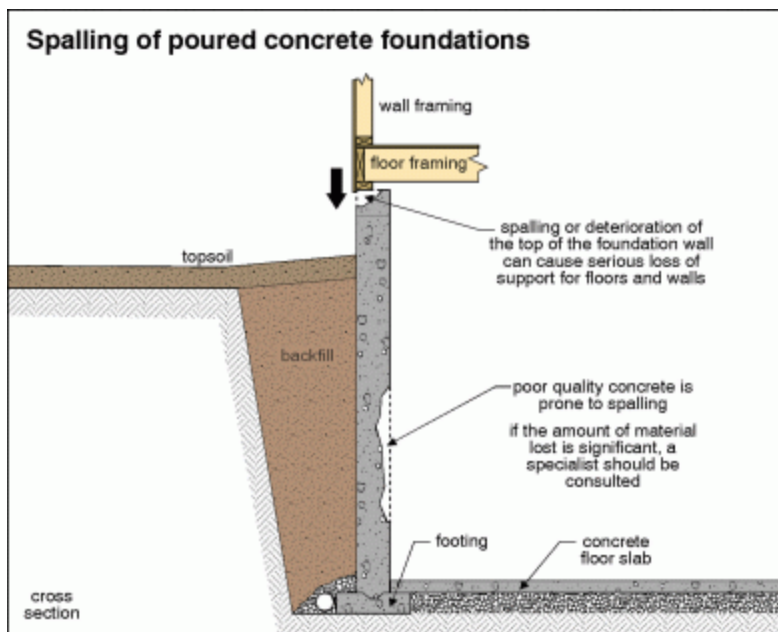
16. Condition: • [Spalling, crumbling or broken material](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Various Exterior

Task: Repair or replace

Time: Immediate



[Click on image to enlarge.](#)



29. Spalling and crumbling cement at foundation

17. Condition: • [Parging damaged or missing](#)

Parging damaged at various locations

Implication(s): Chance of damage to structure | Shortened life expectancy of material

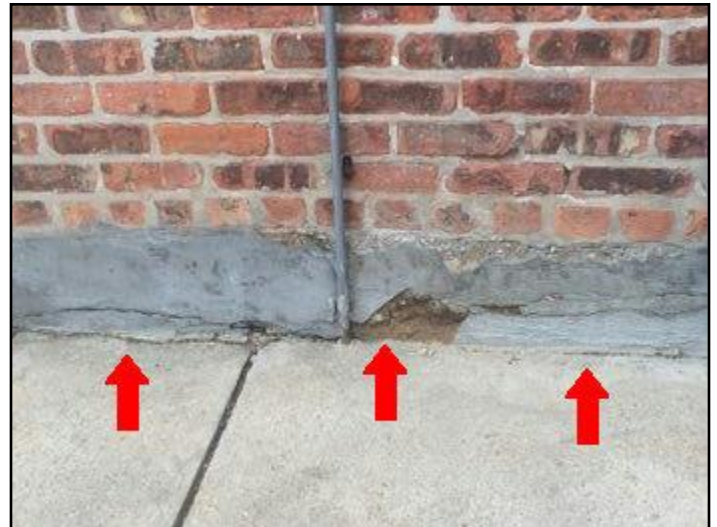
Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate



30. Parging damaged



31. Parging damaged

SUMMARY

ROOFING

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Description

Service entrance cable and location: • [Overhead copper](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location:

• [Breakers - basement](#)

Breaker box appeared to be sealed by drywall



32. Breakers - basement

System grounding material and type: • [Copper - other](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - kitchen](#)

Smoke detectors: • [Present](#)

Limitations

Inspection limited/prevented by: • Main panel box was sealed into drywall

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

18. Condition: • Service entrance anchors appeared loose and disconnected from wall

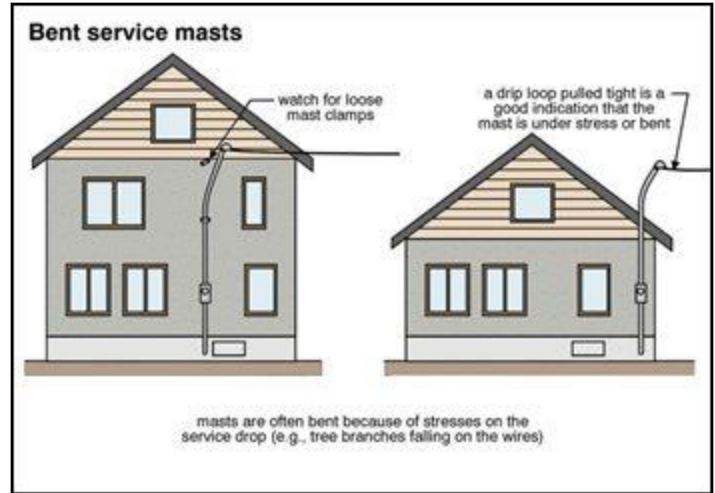
Location: East Exterior Wall

Task: Repair

Time: Immediate



33. Service entrance pulled away from wall



34.

19. Condition: • [Branches, vines interfering with wires](#)

Implication(s): Damage to wire | Electric shock | Interruption of electrical service

Location: South Exterior

Task: Improve

Time: Immediate



35. Branches, vines interfering with wires

DISTRIBUTION SYSTEM \ Lights

20. Condition: • Exterior light appeared to be missing caulking

Location: South Exterior

Task: Provide

Time: Immediate

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36. Missing caulking at exterior light

DISTRIBUTION SYSTEM \ Outlets (receptacles)

21. Condition: • Outlet(s) appeared to have a bad ground

Location: Various

Task: Repair or replace

Time: Immediate



37. Bad ground



38. Bad ground

22. Condition: • [Inoperative](#)

Exterior outlets appeared to be inoperative

Implication(s): Equipment inoperative

Location: South Exterior

Task: Repair or replace

Time: Immediate

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39. Inoperative exterior outlet



40. Inoperative exterior outlet

23. Condition: • [GFI test faulty](#)

GFCI outlets in kitchen did not appear to trip when tested

Implication(s): Electric shock

Location: First Floor Kitchen

Task: Repair or replace

Time: Immediate

DISTRIBUTION SYSTEM \ Smoke detectors

24. Condition: • [Inoperative](#)

Second floor smoke alarm appeared to be inoperative

Implication(s): Fire hazard

Location: Second Floor

Task: Repair or replace

Time: Immediate

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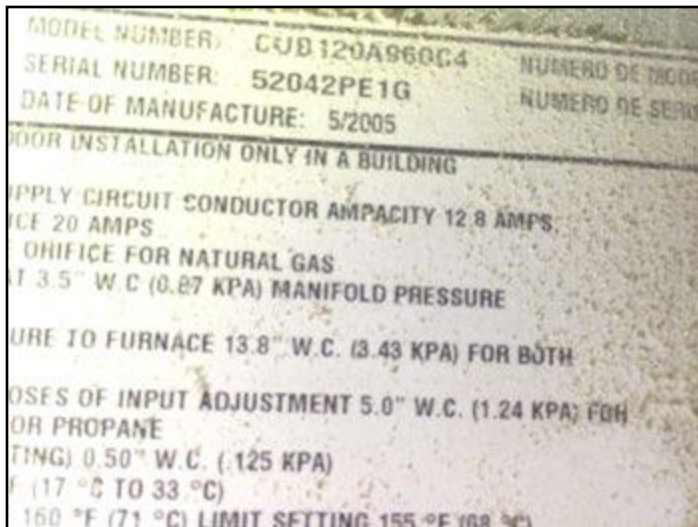
Description

Fuel/energy source: • [Gas](#)

System type: • [Furnace](#)

Furnace manufacturer:

• American Standard



41. American Standard furnace ratings tag



42. American Standard furnace

Heat distribution:

• [Ducts and registers](#)



43. Ducts and registers



44. Ducts and registers

Efficiency: • [High-efficiency](#)

Approximate age: • [10 years](#)

SUMMARY

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Main fuel shut off at: • Meter**Chimney/vent:** • [Metal](#)**Chimney liner:** • [Clay](#)

Limitations

Safety devices: • Not tested as part of a building inspection**Heat loss calculations:** • Not done as part of a building inspection**Heat exchanger:** • Not visible

Recommendations

GAS FURNACE \ Cabinet

25. Condition: • [Rust](#)

There appeared to be rust in the interior furnace cabinet

Implication(s): Material deterioration | Reduced system life expectancy**Location:** Basement Utility Room p**Task:** Monitor**Time:** Ongoing

45. Rust in furnace cabinet

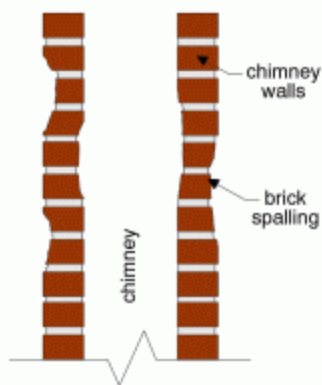
CHIMNEY AND VENT \ Masonry chimney

26. Condition: • [Spalling](#)

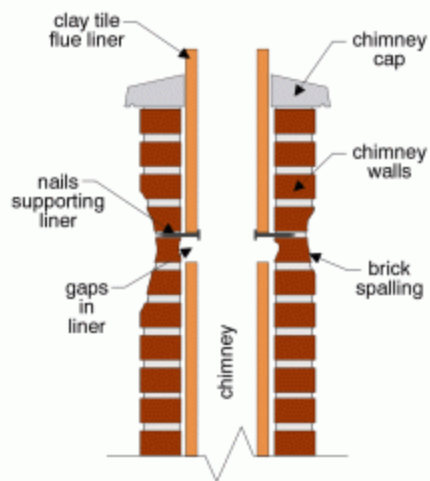
Chimney chase appeared to be spalling and showed signs of previous patching repairs

Implication(s): Material deterioration**Location:** Exterior**Task:** Repair or replace**Time:** Immediate

Chimney deterioration



unlined chimneys are particularly prone to damage caused by condensation of flue gases - the damage tends to be worse near the top of the chimney



even lined chimneys can suffer from condensation related brick damage

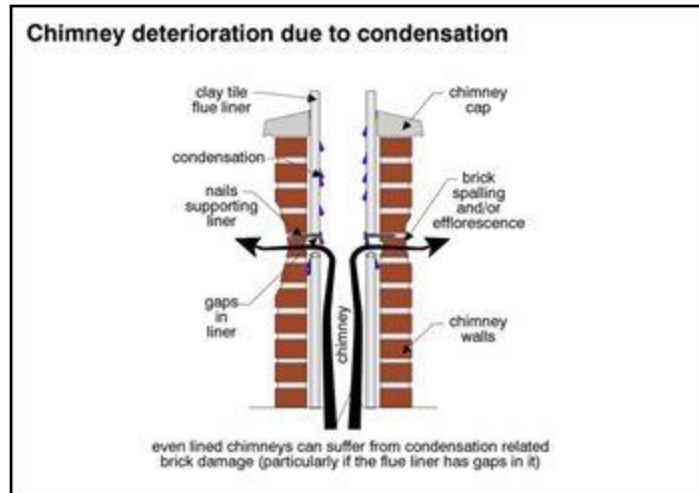
[Click on image to enlarge.](#)



46. Spalling



47. Parging repairs



48.

CHIMNEY AND VENT \ Metal chimney or vent

27. Condition: • Appliance vents appeared to be parallel instead of stacked, larger appliance vent above smaller vent.

Location: Basement Utility Room

Task: Repair or replace

Time: Immediate



49. Appliance vents into chimney flue

Description

Air conditioning type: • [Air cooled](#)

Manufacturer:

- American Standard



50. American Standard A/C



51. American Standard A/C ratings tag

Compressor approximate age: • 10 years

Limitations

Inspection limited/prevented by: • Low outdoor temperature

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

Attic/roof insulation amount/value: • Not determined

Attic/roof ventilation: • [Soffit vent](#)

Attic/roof air/vapor barrier: • Not determined

Limitations

Air/vapor barrier system: • Continuity not verified

Recommendations

OPTIONAL \ Insulation

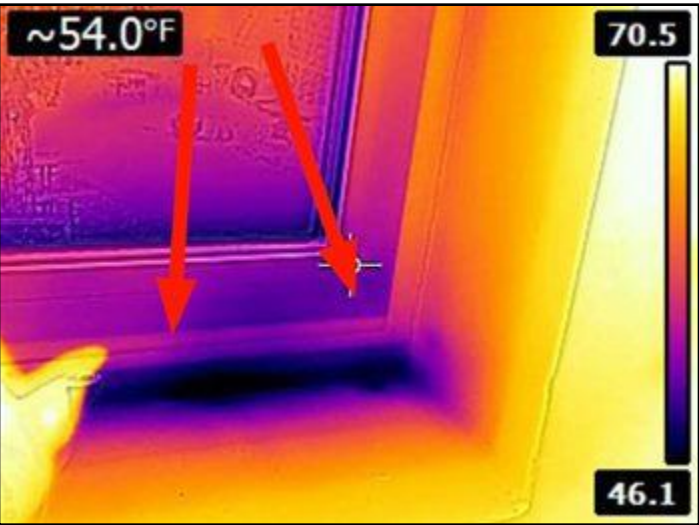
28. **Condition:** • Cold/hot air intrusion may lead to energy loss and affect comfort level in surrounding area

There appeared to be air intrusion at various locations

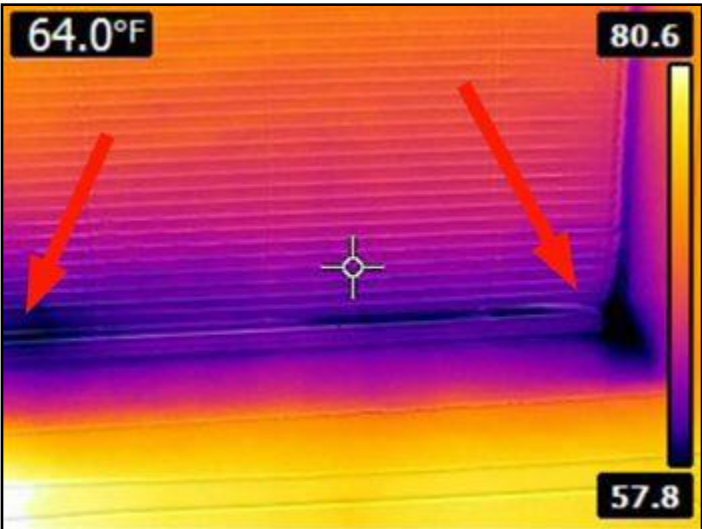
Location: Various

Task: Correct

Time: Discretionary



52. Cold/hot air intrusion at window



53. Cold/hot air intrusion at window

INSULATION AND VENTILATION

8722 40th St, Lyons, IL April 15, 2015

Report No. 1007, v.0

www.fidelisinspection.com

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HEATING

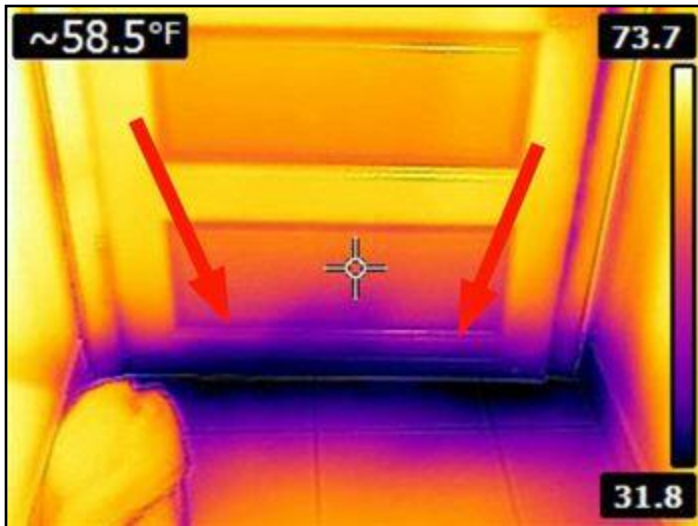
COOLING

INSULATION

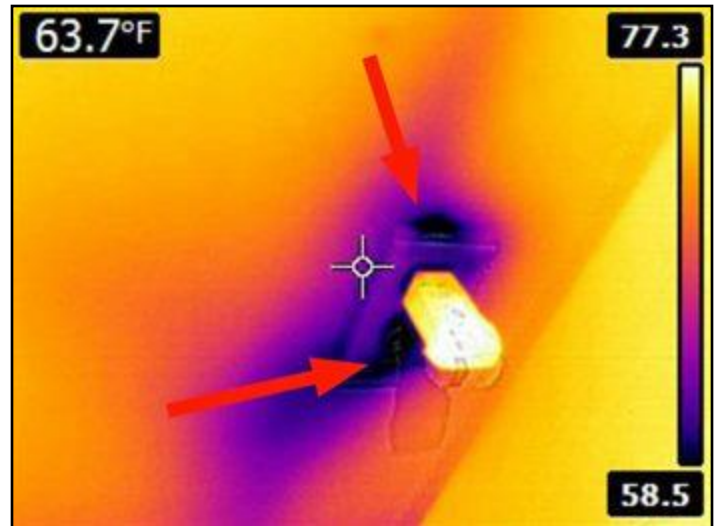
PLUMBING

INTERIOR

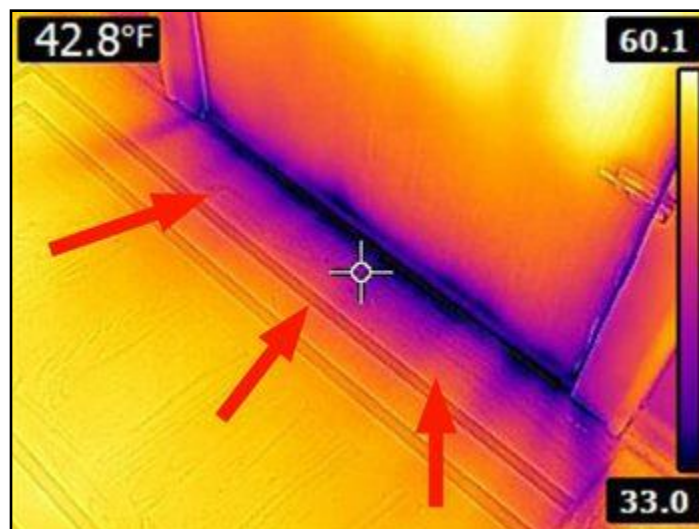
REFERENCE



54. Cold/hot air intrusion at door



55. Cold/hot air intrusion at outlet



56. Cold/hot air intrusion at door

WALLS \ Insulation

29. Condition: • [Sagging or voids](#)

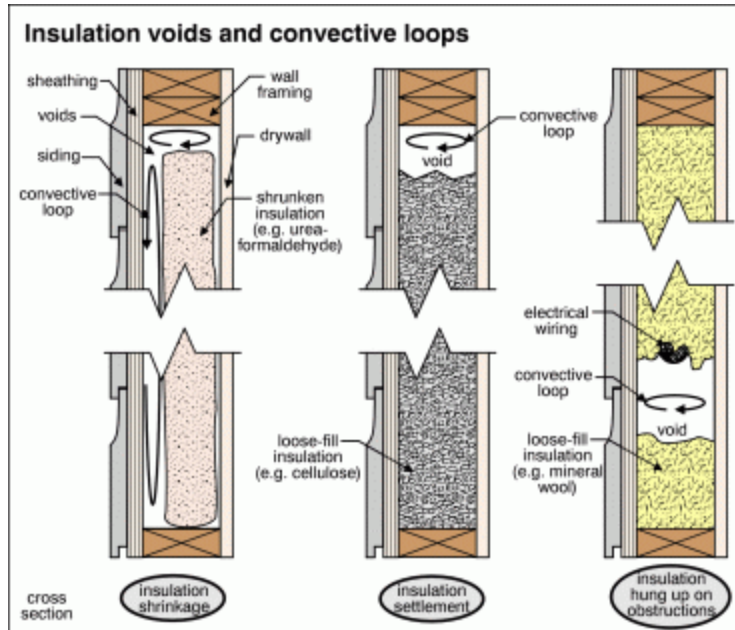
There appeared to be missing insulation at various exterior walls

Implication(s): Increased heating and cooling costs | Reduced comfort

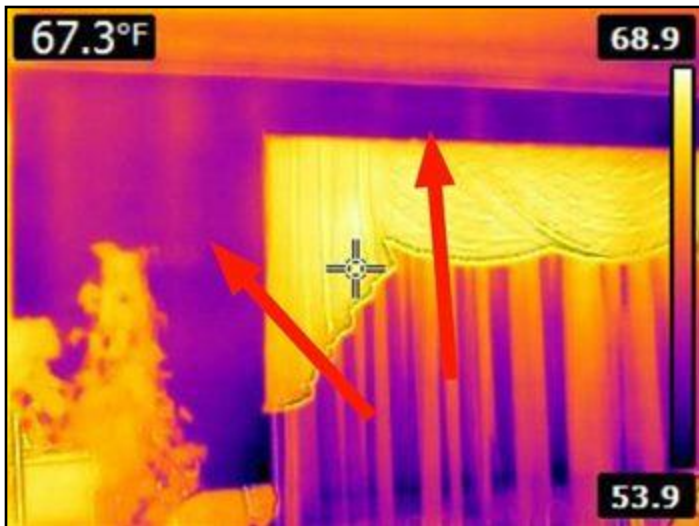
Location: Various

Task: Provide

Time: Discretionary



[Click on image to enlarge.](#)



57. Missing insulation on exterior wall



58. Missing insulation on exterior wall

Description

Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

• Basement



59. Basement main water shut off

Water flow and pressure:

• [Functional](#)

80 psi



60. Functional pressure 80 psi

Water heater fuel/energy source: • [Gas](#)

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Water heater type: • [Conventional](#)**Water heater manufacturer:**

• Rheem



61. Rheem water heater



62. Rheem water heater ratings tag

Tank capacity: • [40 gallons](#)**Water heater approximate age:** • 16 years**Waste piping in building:** • [PVC plastic](#) • [Cast Iron](#)

Recommendations

WASTE PLUMBING \ Traps - performance

30. Condition: • Catch basin appeared to have roots growing through its walls. Recommend rodding at intervals when needed

Location: South Exterior

Task: Service

Time: Regular maintenance



63. Root growth at catch basin

31. Condition: • [Split, rusted or damaged](#)

Implication(s): Sewage entering the building

FIXTURES AND FAUCETS \ Toilet

32. Condition: • [Loose](#)

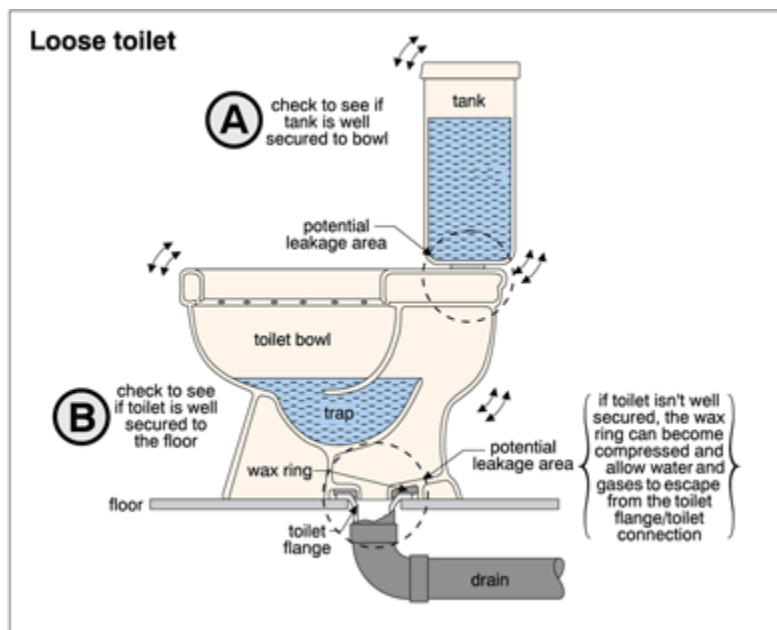
Toilet bowl appeared to be loose

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building

Location: Second Floor Bathroom

Task: Repair

Time: Immediate



[Click on image to enlarge.](#)

Description

General: • Views of property interior



64. Dining room



65. Laundry room



66. Kitchen



67. Living room

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68. Sunroom



69. Bedroom



70. bedroom

Major floor finishes: • [Hardwood](#) • [Marble](#) • Tile

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#)

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [Solid wood](#) • Metal-clad • Garage door - metal

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Limitations

Inspection limited/prevented by: • Storage/furnishings • Storage in closets/cupboards

Recommendations

FLOORS \ Ceramic tile, stone, marble, etc

33. Condition: • [Tiles cracked](#)

Tiles appeared to be cracked

Implication(s): Cosmetic defects | Trip or fall hazard

Location: First Floor Kitchen

Task: Repair or replace

Time: Discretionary



71. Tiles cracked



72. Tiles cracked

CEILINGS \ Plaster or drywall

34. Condition: • [Crumbly or powdery](#)

Bedroom ceiling appeared to be water damaged and peeling

Implication(s): Cosmetic defects | Chance of movement

Location: West Second Floor Bedroom

Task: Repair or replace

Time: Immediate

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73. Crumbly or powdery

CEILINGS \ Fan

35. Condition: • Excessive vibration

Ceiling fan appeared to wobble when in use

Location: First Floor Sunroom

Task: Improve

Time: Immediate

CARPENTRY \ Countertops

36. Condition: • [Loose or missing pieces](#)

Countertop trim appeared to be loose and had a visible gap. This may increase chance of moisture intrusion behind trim.

Implication(s): Cosmetic defects | Hygiene issue

Location: First Floor Kitchen

Task: Repair or replace

Time: Immediate



74. Gap at countertop trim

APPLIANCES \ Microwave oven

37. Condition: • Inoperative

Implication(s): Equipment inoperative

APPLIANCES \ Dishwasher

38. Condition: • Loose

Dishwasher did not appear to be secured to cabinets

Implication(s): Reduced operability

Location: First Floor Kitchen

Task: Provide

Time: Immediate

39. Condition: • Backflow prevention missing

Dishwasher did not appear to have an air gap or high loop for back flow prevention.

Implication(s): Contaminated drinking water

Location: First Floor Kitchen

Task: Provide

Time: Immediate



75. *Backflow prevention missing*

APPLIANCES \ Dryer

40. Condition: • Plastic dryer vent

Recommend replacing plastic dryer vent for metal vent

Location: South First Floor Laundry Area

Task: Correct

Time: Immediate

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76. Plastic dryer vent

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS